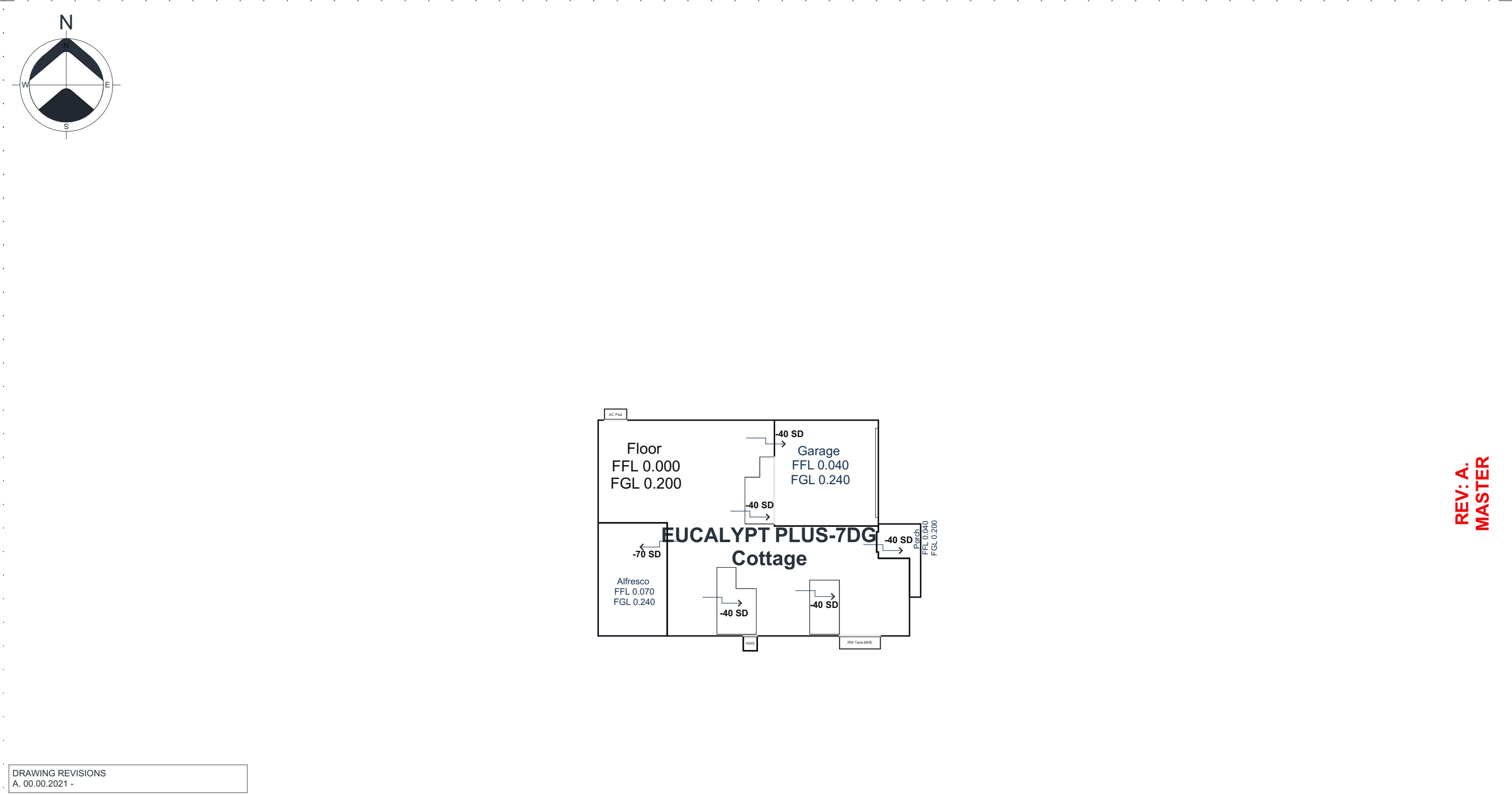


[illegible]

	CC	W/O
WAE	N/A	N/A
SEWER Draft Civil Plan	N/A	N/A
WATER	N/A	N/A
ELECTRICAL	N/A	N/A
NBN	N/A	N/A
CIVIL ENGINEERS	N/A	N/A
GAS	N/A	N/A
LINEN	N/A	N/A
88B	N/A	N/A
BAL	N/A	N/A
ACCOUSTICS	N/A	N/A
NOTE: N/A DENOTES DOCUMENTATION UNAVAILABLE AT TIME OF PRODUCTION		

Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X-Y	
01.8	Fence & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Wall Section 2	
01.18	Wall Section 3	
01.19	Associated Details	
01.20	Associated Details	
01.21	Tile Specification	
01.22	Ensuite - Laundry	
01.23	Bath	
01.24	Kitchen	
01.25	Colour Application	
01.26	Paint Application	
01.27	Colour Perspectives	
01.28	Landscape	
01.29	Landscape Details	
01.30	Solar Panel Information	
01.31	Furniture Layout	

REV: A.
MASTER



NOTE: Also Refer To Index Sheet For Additional Plans.

- GENERAL NOTES:**
- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
 - Retaining Wall Where Required By Builder.
 - Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
 - Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960








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Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
endall (MONTEREY) NSW

SITE INSTRUCTIONS		Site			Last Amended JHA	Scale 1:200
GENERAL:	0	01.09.20	Revision/Date/Version A..V22	Serial 1EW710O00A	Job No	Sheet
HOUSE:	A	21.12.22			12345	01.2

*Weather strips/seals to all external
hung doors

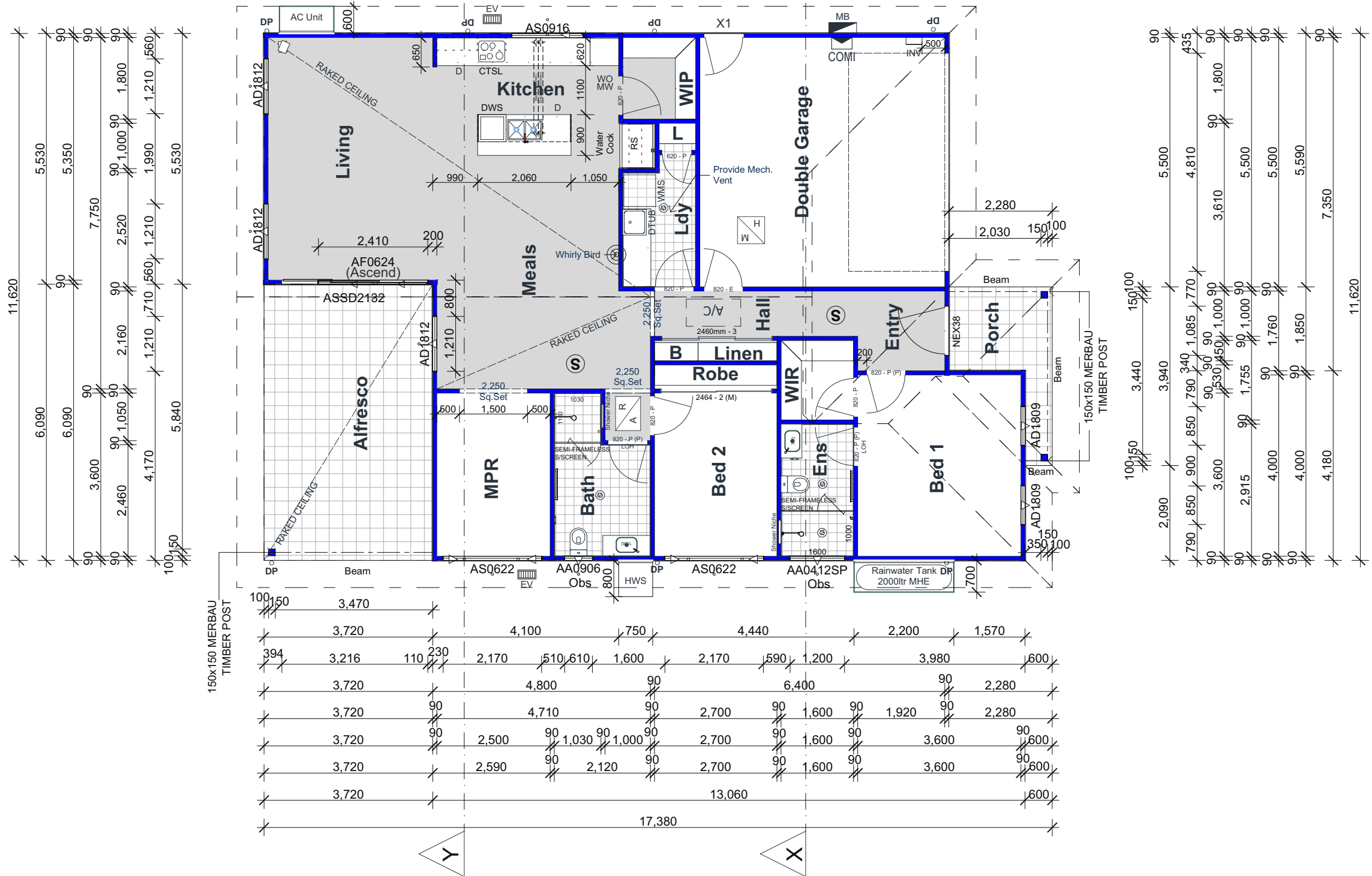
Type Spec level note here

	Air Con Fan Unit
	Return Air
	Man Hole
	Whirly Bird (300mm Throat Dia)
	Eave Vent (400x200mm)

E = Entrance
P = Passage
(P) = Privacy
W = Wardrobe
LOH = Lift Off Hinge

**NOTE:
REFER TO SLAB SETOUT
FOR CONCRETE LAYOUT.**

**SHADED AREA DENOTES
VINYL FLOORING UNLESS
OTHERWISE SPECIFIED ON
THE JOB SPECIFIC COLOUR
SELECTION SHEET**



REV: A.
MASTER

FLOOR AREAS	
ALFRESCO	22.65
GARAGE	31.92
GROUND	127.81
PORCH	5.57
	187.95 m²

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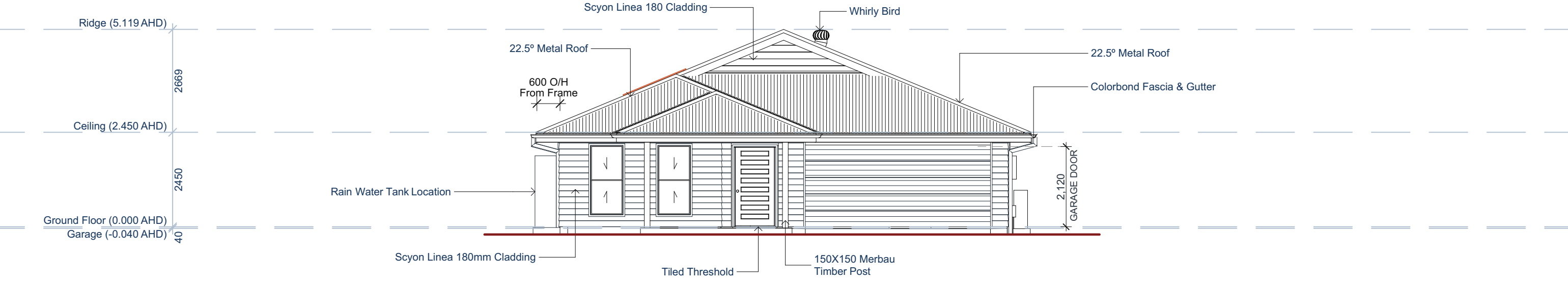
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EUCALYPT PLUS-7DG
Cottage

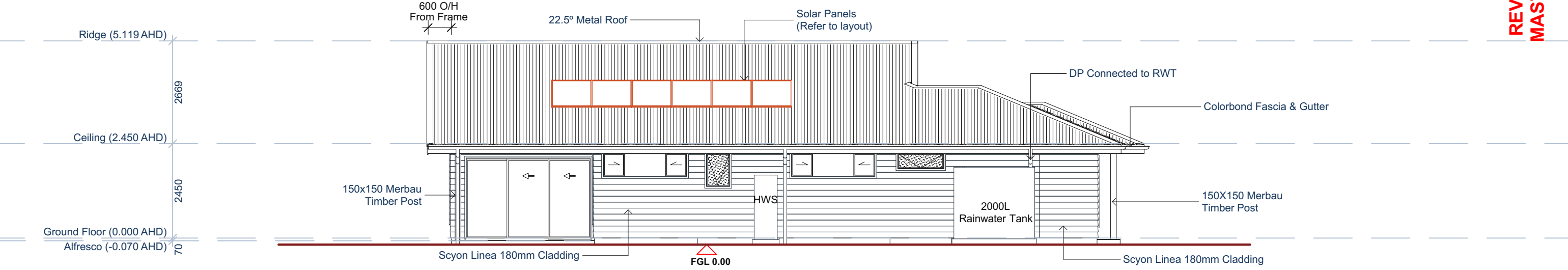
Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS				Scale		Last Amended	
Ground Floor				JHA		1:100	
GENERAL:	0	01.09.20	Revision/Date/Version	Serial	Job No	Sheet	
HOUSE:	A	21.12.22	A..V22	1EW710O00A	12345	01.3	

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East Elevation (A)



South Elevation (B)

General Notes:

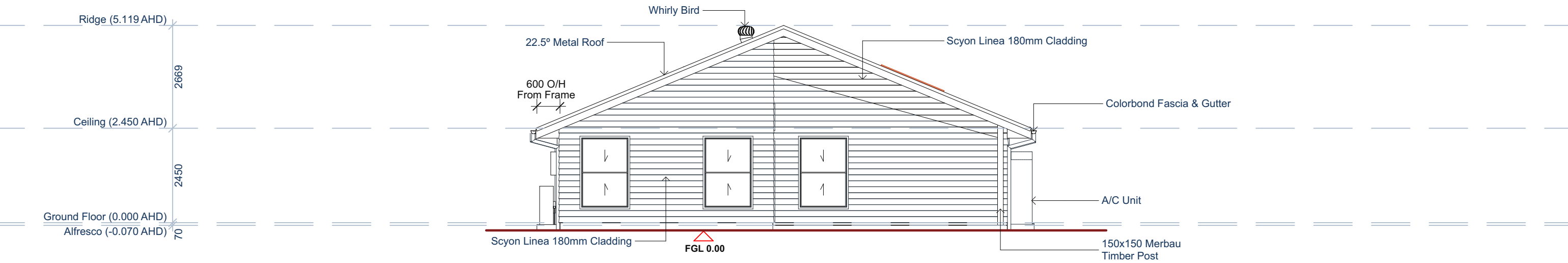
- * Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
- * Provide cover strip to entry doors
- * Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing
(Refer floor plans/window schedule)

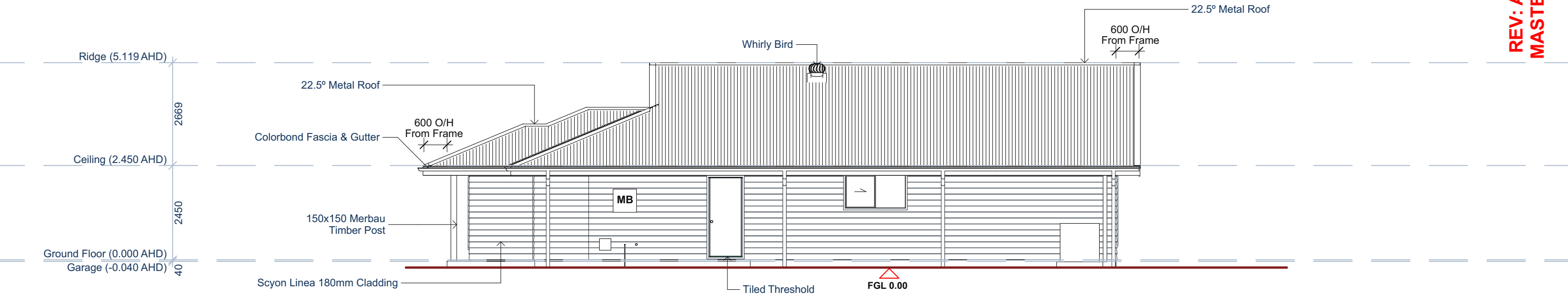
Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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MASTER



West Elevation (C)



North Elevation (D)

General Notes:

- * Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
- * Provide cover strip to entry doors
- * Refer to floor plans/window schedule for Restricted opening windows (BCA)

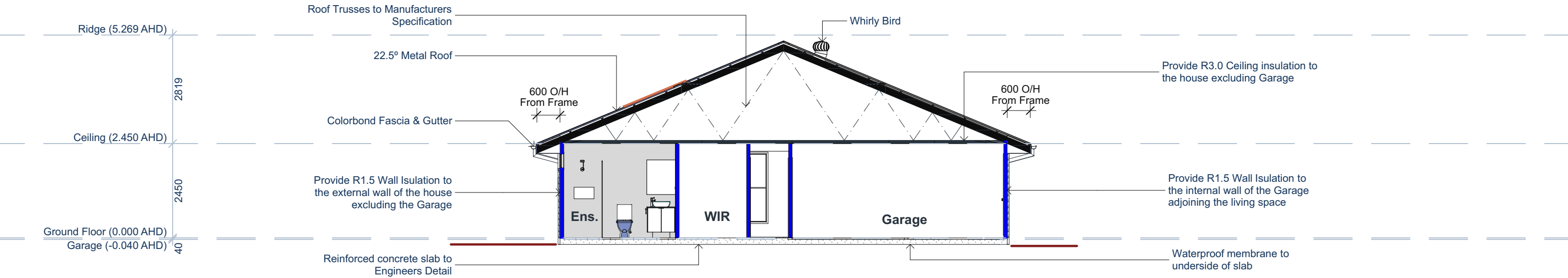
Indicates Obscure Glazing
(Refer floor plans/window schedule)

Glazing

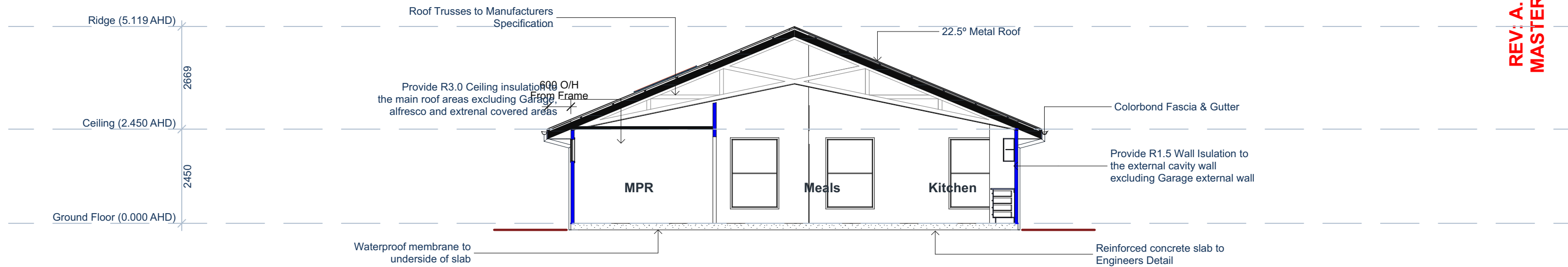
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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Note:
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



Section (X)



Section (Y)

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MASTER

CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i), Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3

STAIRS, RAMP & LANDINGS:

- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

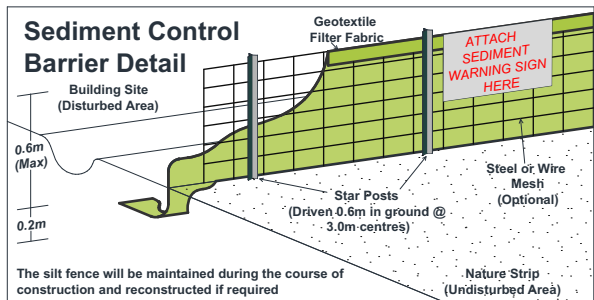
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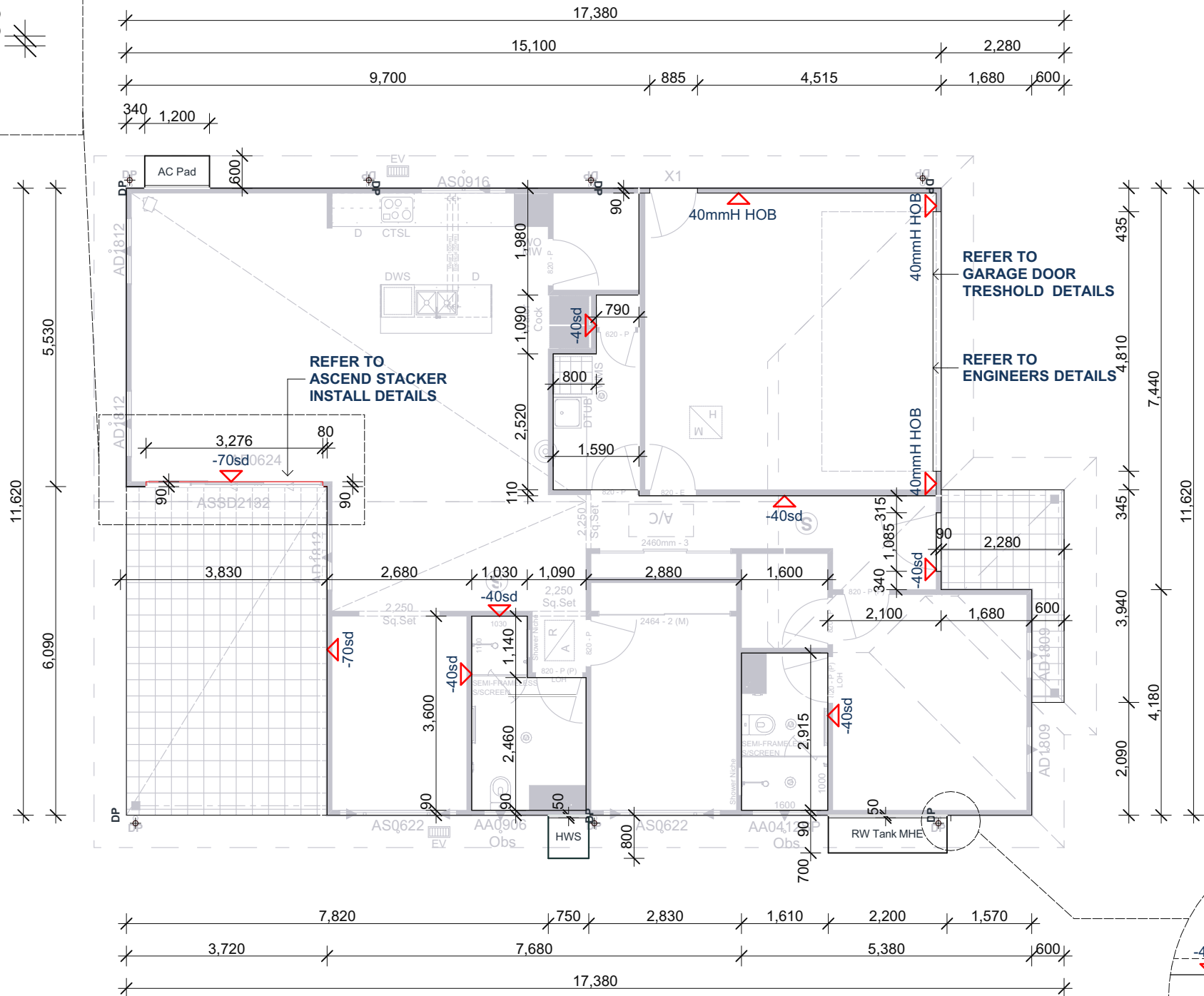
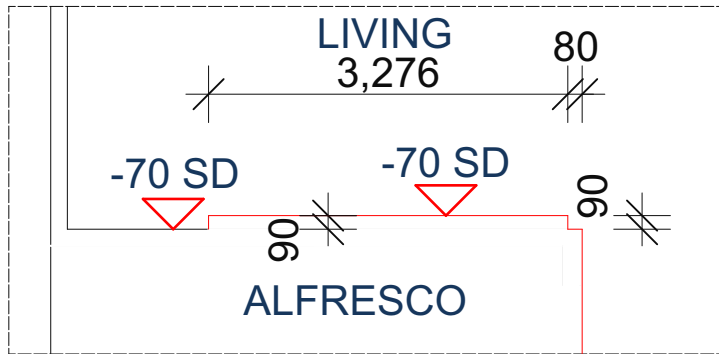
- Smoke Alarms: Installation to NCC Clause 3.7.5

PLACE DETAILS INSIDE THIS WORK SHEET

REV: A.
MASTER

<





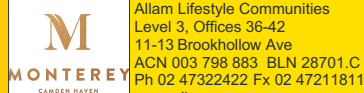
REV: A.
MASTER

Termite shields

Shields, barriers or the like must be provided in accordance with AS 3660.1-2000 Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

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EUCALYPT PLUS-7DG Cottage

Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS
GENERAL:
HOUSE:

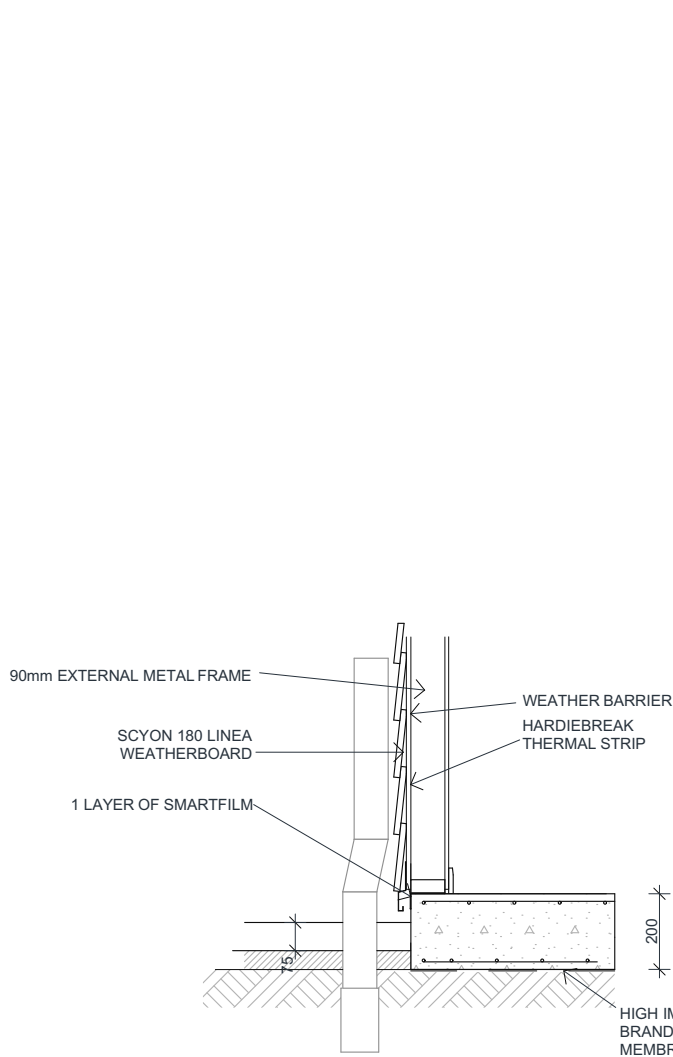
Slab Setout Ground

0 01.09.20
A 21.12.22

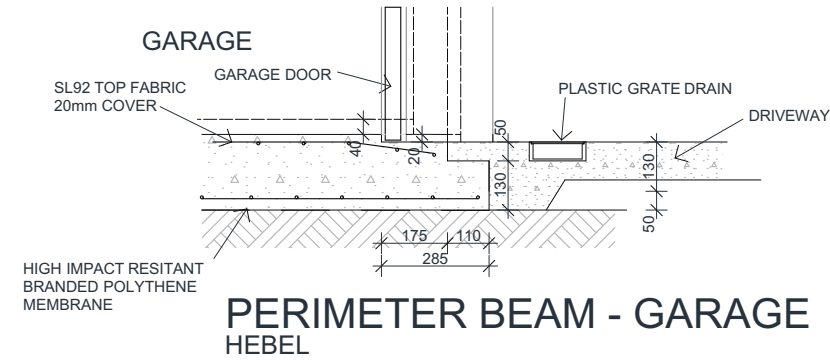
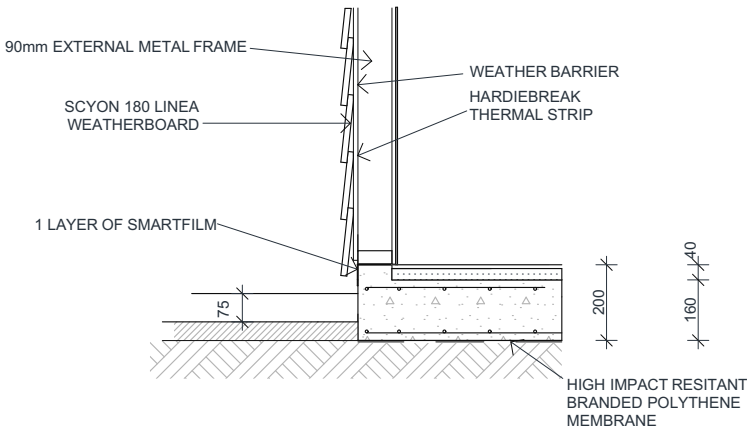
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A..V22

Serial
1EW710000A

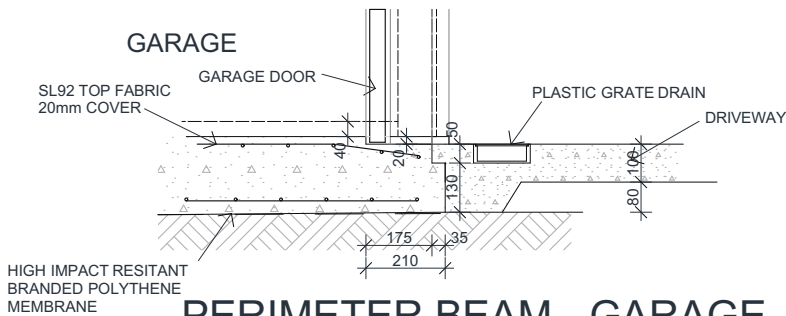
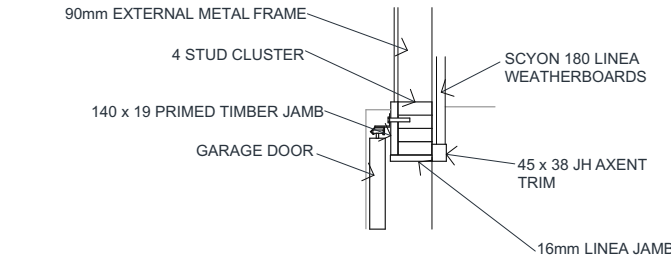
Last Amended
JHA
Job No
12345
Scale
1:100
Sheet
01.11



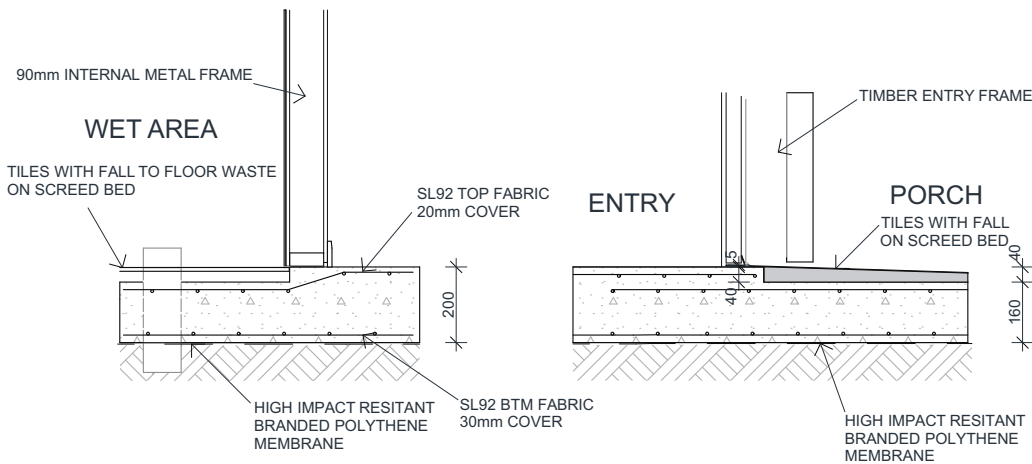
PERIMETER BEAM - HOUSE
SCYON 180 LINEA CLADDING



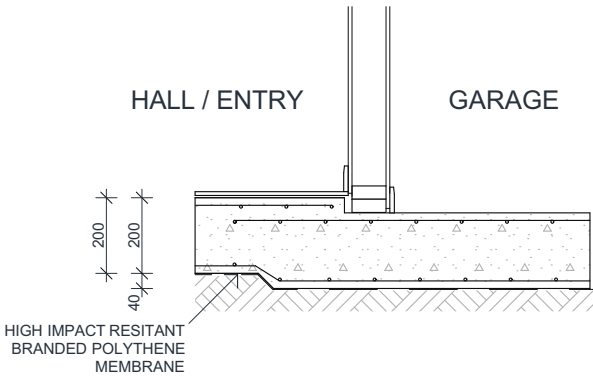
PERIMETER BEAM - GARAGE
HEBEL



PERIMETER BEAM - GARAGE
SCYON 180 LINEA CLADDING



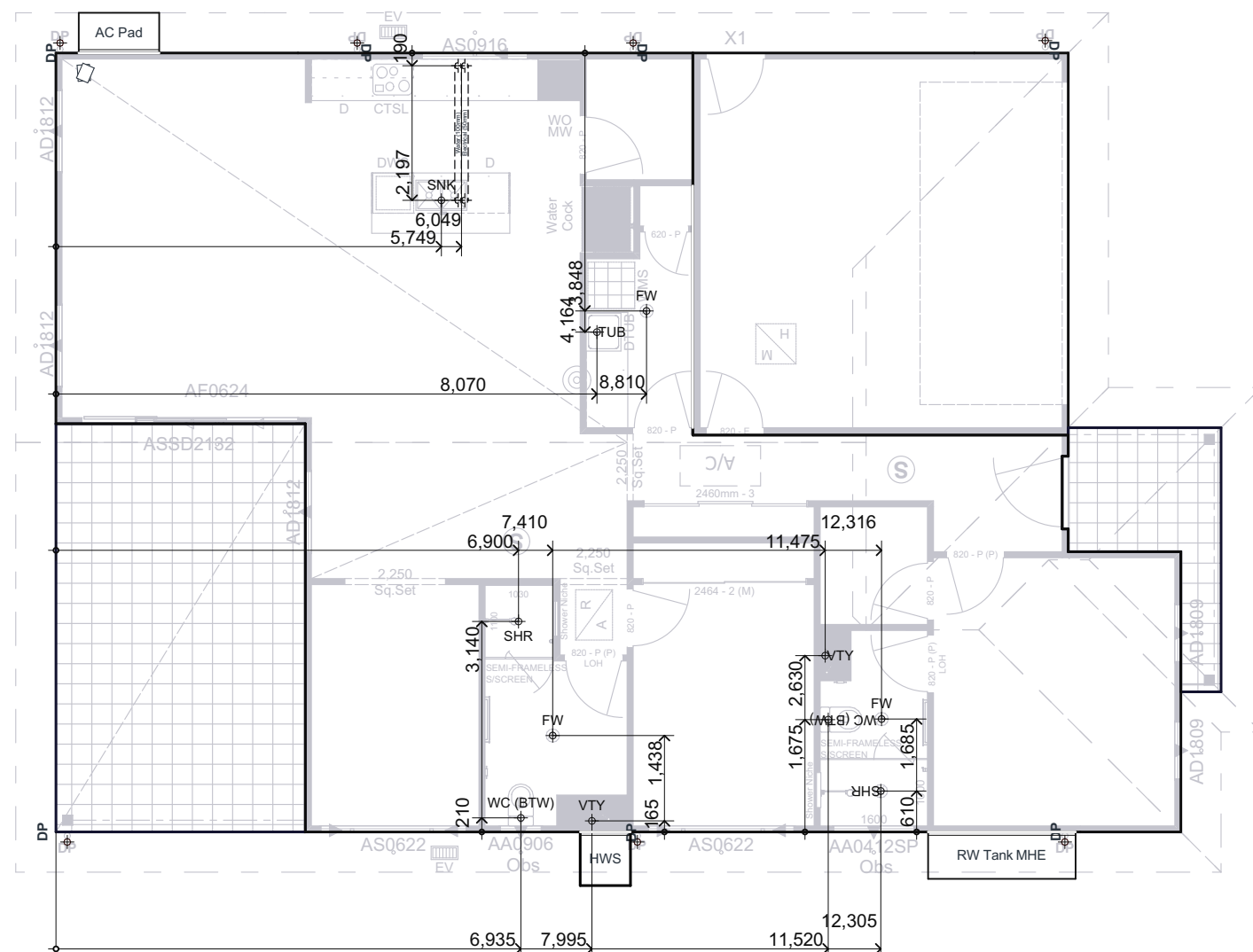
INTERNAL STEP DOWN
THRU WALL



INTERNAL STEP DOWN
THRU WALL

REV: A.
MASTER

REV: A.
MASTER



NOTE: GROUND FLOOR
RUNNING DIMENSIONS FROM
INSIDE OF EDGE BOARD TO C_L OF
PENETRATION

NOTE: FIRST FLOOR
RUNNING DIMENSIONS FROM EXTERNAL
TIMBER FRAME/BRICKWORK TO ϕ OF
PENETRATION

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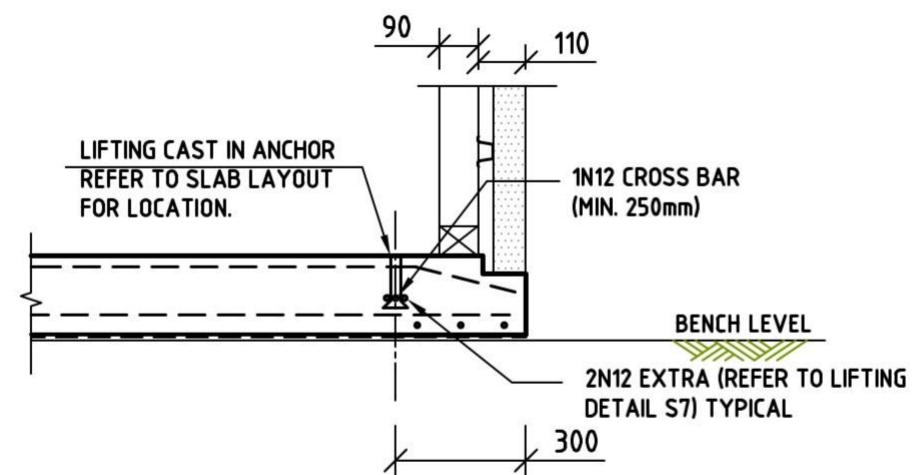
EUCALYPT PLUS-7DG
Cottage

Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW

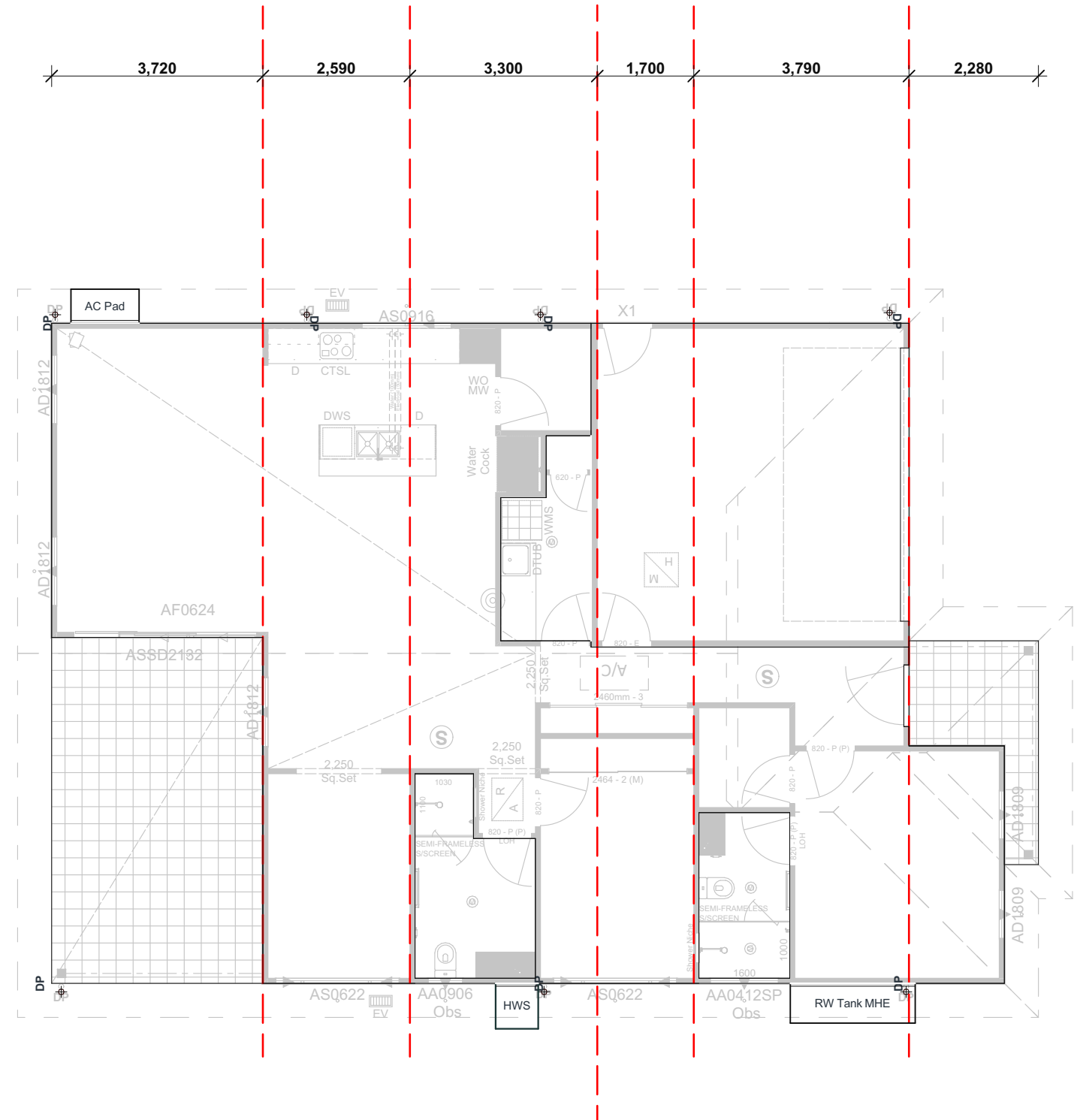
SITE INSTRUCTIONS	<i>Sub Floor Ground</i>				Last Amended JHA	Scale REFER TO DETAIL	
	GENERAL:	0	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
	HOUSE:	A	21.12.22	A..V22	1EW710O00A	12345	01.13

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NOTE : REFER TO ENGINEERS DETAILS



EDGE DETAIL WITH LIFTING ANCHORS



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MASTER**

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EUCALYPT PLUS-7DG
Cottage

Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW


SITE INSTRUCTIONS		Slab Relocation Plan			Last Amended JHA	Scale REFER TO DETAIL
GENERAL:	0	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	A	21.12.22	A.V22	1EW710O00A	12345	01.14


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- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 


Alarm Control Box
- 

Single GPO
- 

Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

Ceiling Fan
- 

Ceiling Fan (Incorporated Light)

Actron Air Standard Unit Specification (Single Phase)

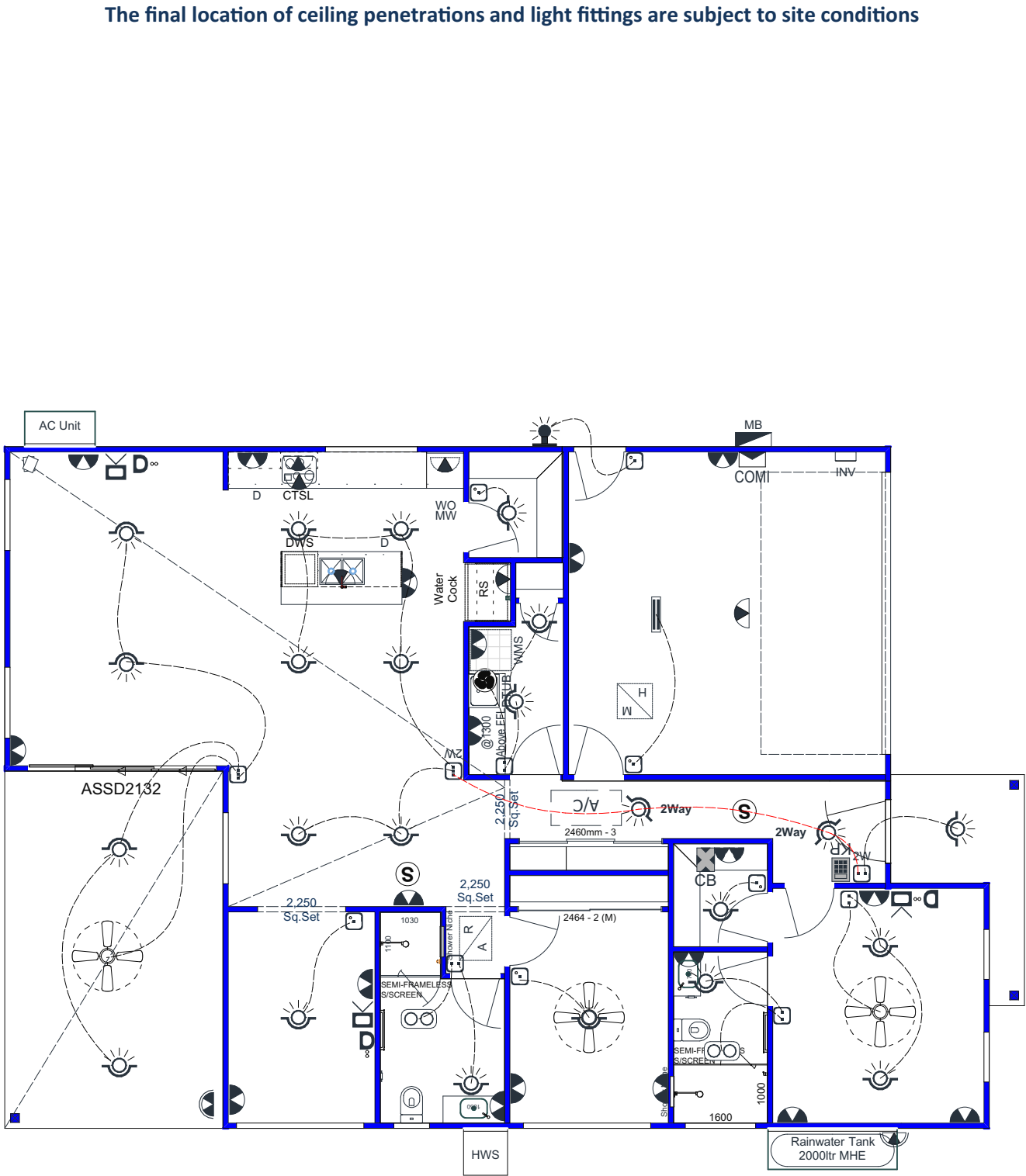
Model: **CRS13AS / EVA13AS**
Net (rated) Capacity (KW) Cooling: **13.02 KW**
Heating: **15.0 KW**
EER Rated Cooling: **3.35 KW**
EER Rated Heating: **3.51 KW**

General Notes: NCC Approval

1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
5. Double GPO to meter box.

Electrical wiring

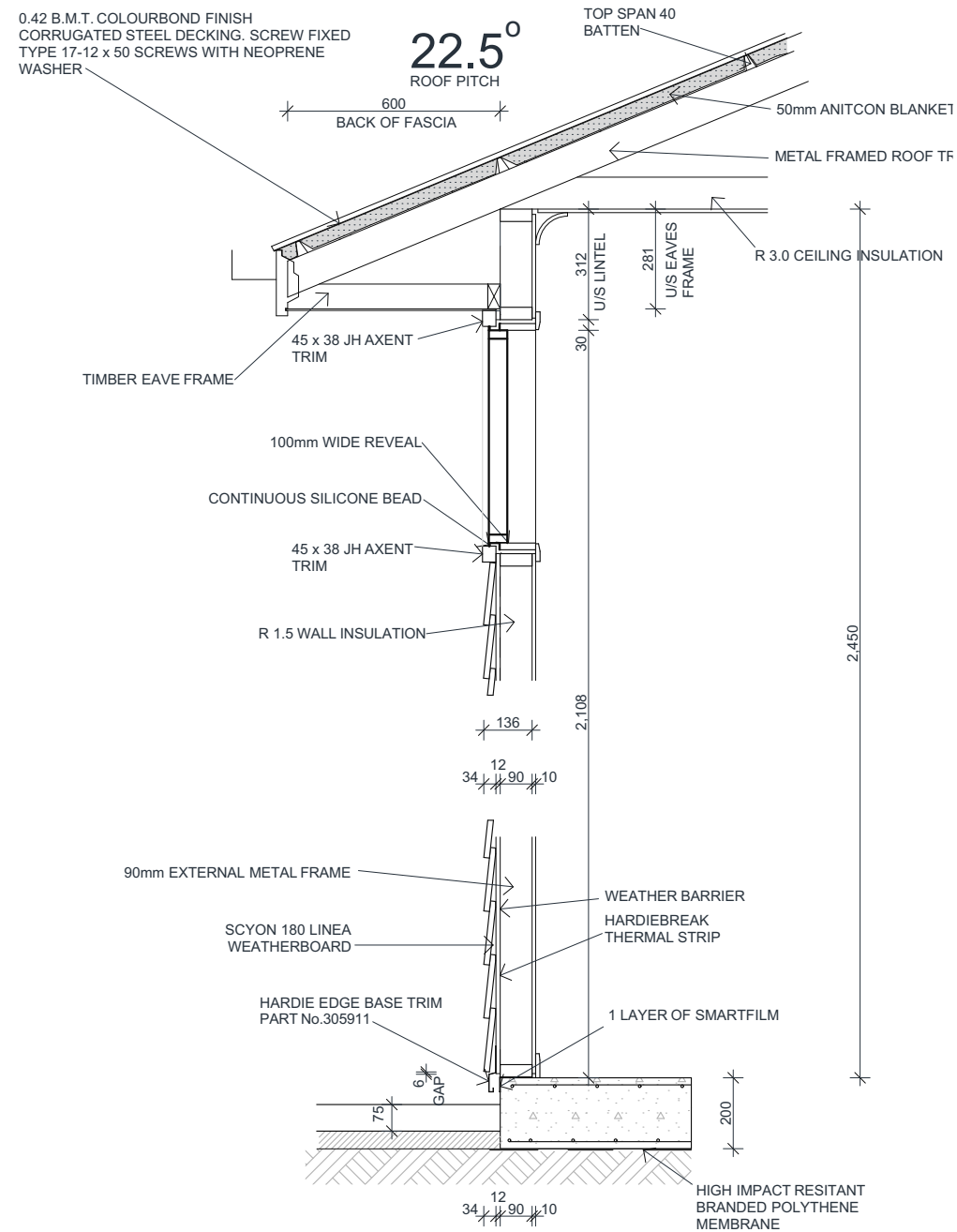
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.



REV: A.
MASTER

GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	

Note :
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.



PERIMETER BEAM - HOUSE

TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

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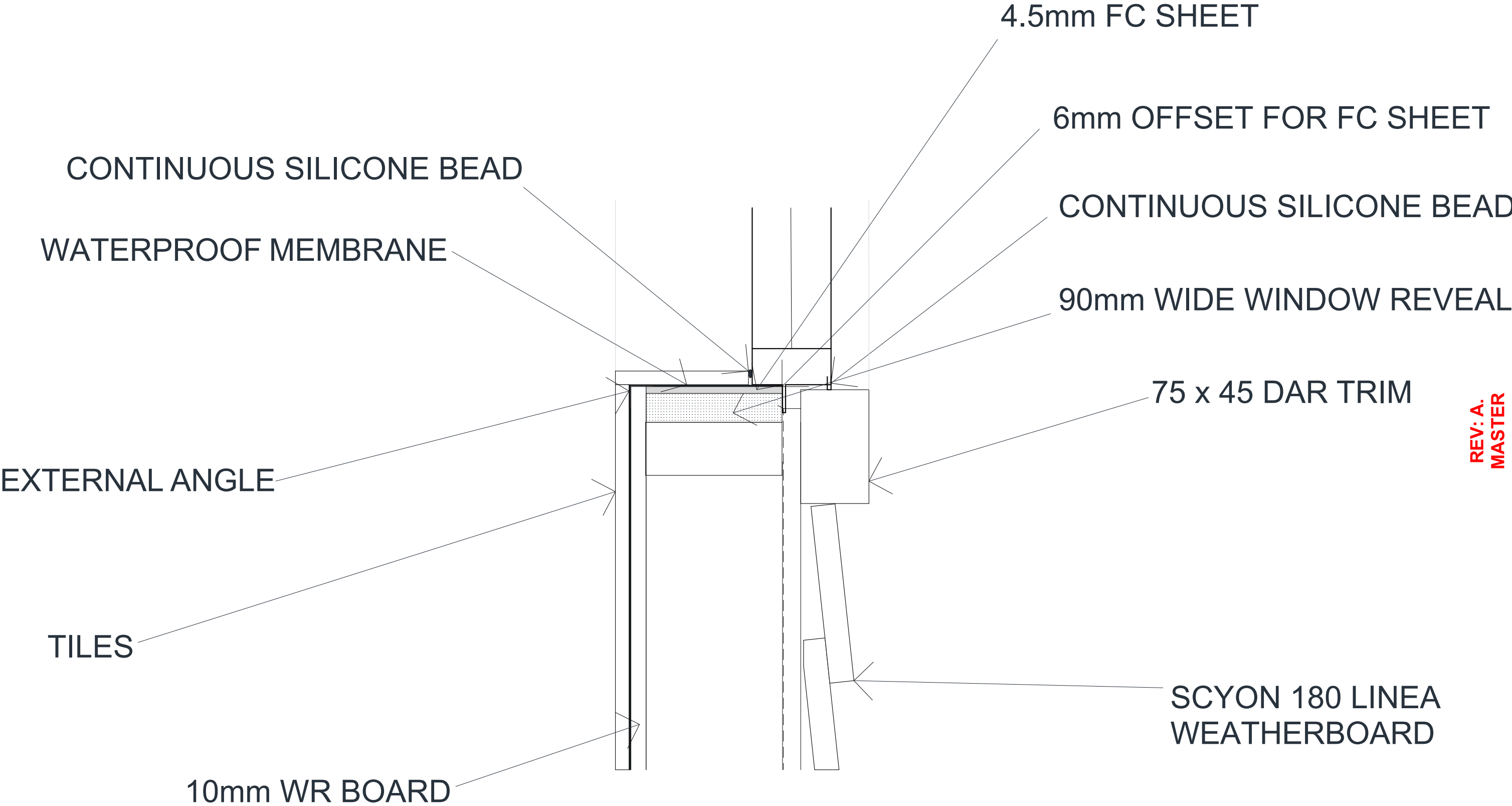
Allam Lifestyle Communities
Level 3, Offices 36-42
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EUCALYPT PLUS-7DG
Cottage

Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW

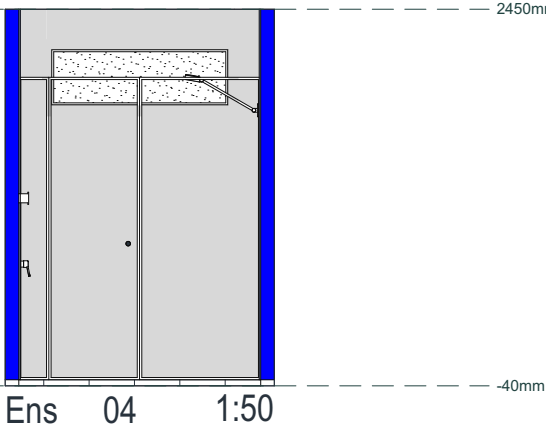
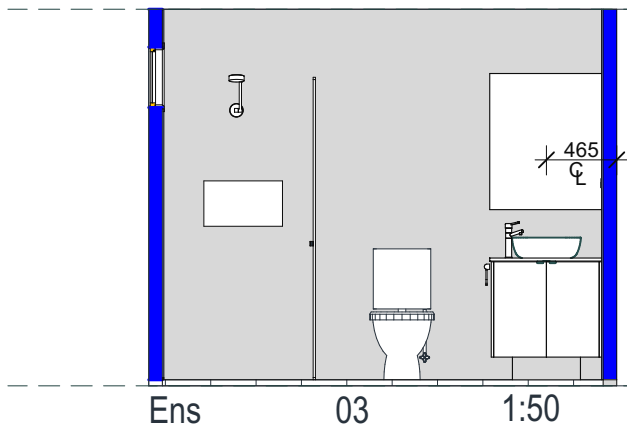
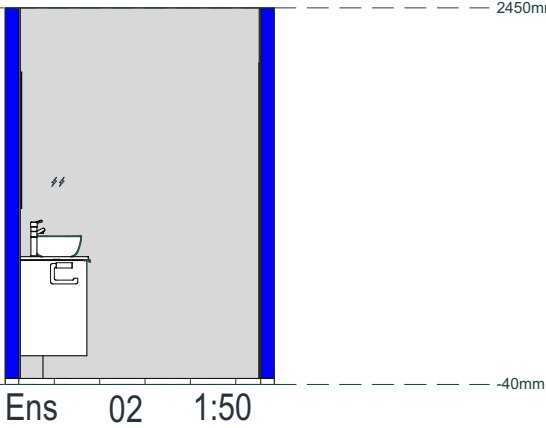
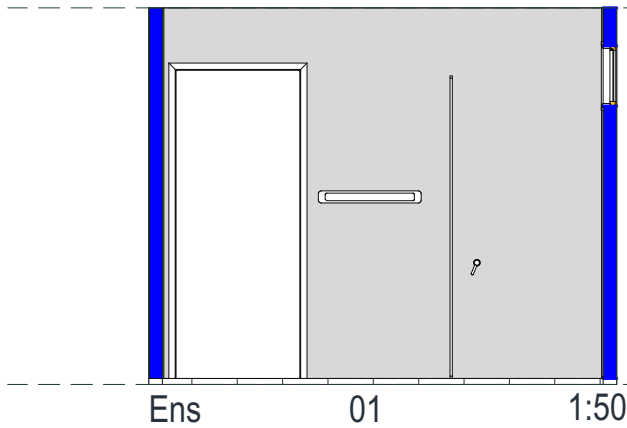
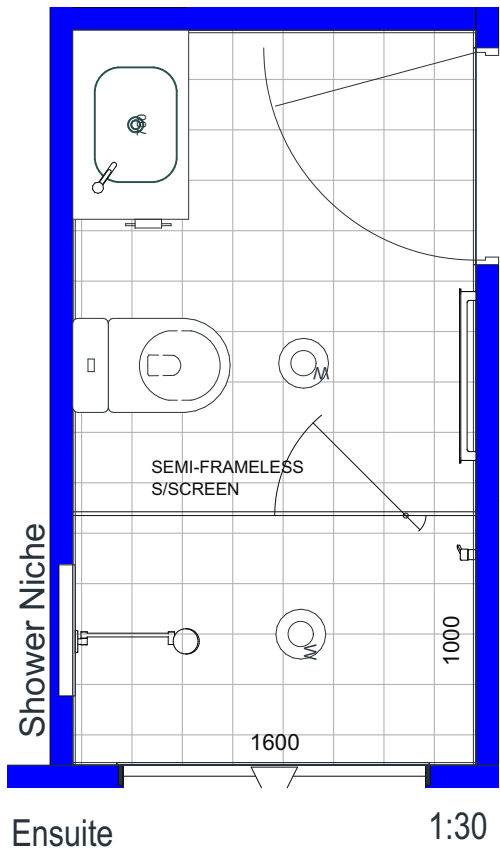
SITE INSTRUCTIONS	Wall Section 1				Last Amended	Scale REFER TO DETAIL
	GENERAL:	0	01.09.20	Revision/Date/Version	JHA	Sheet
	HOUSE:	A	21.12.22	A..V22	Job No 12345	01.16



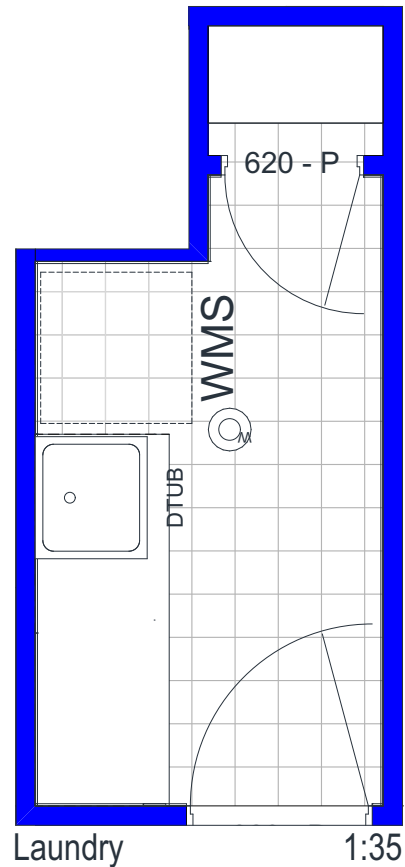
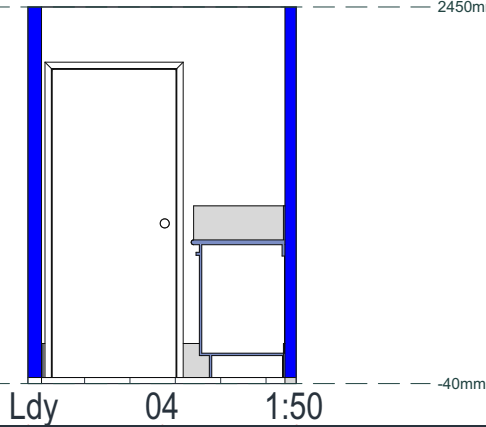
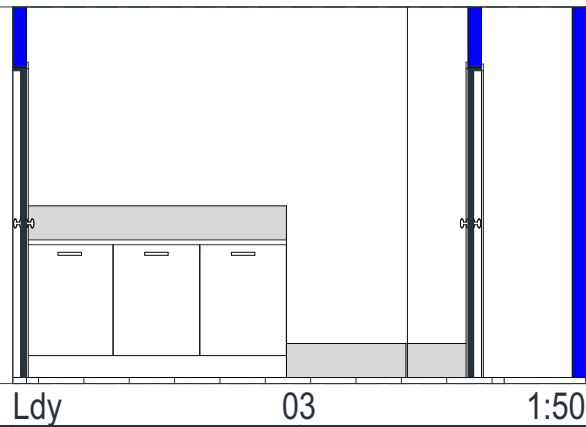
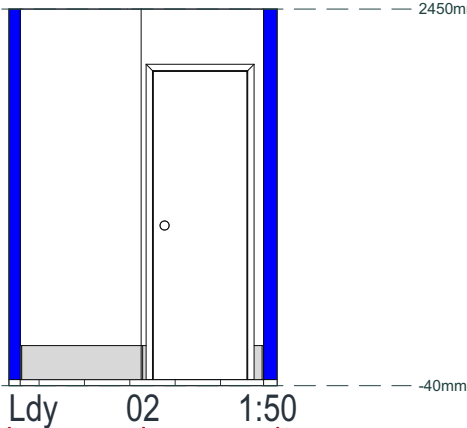
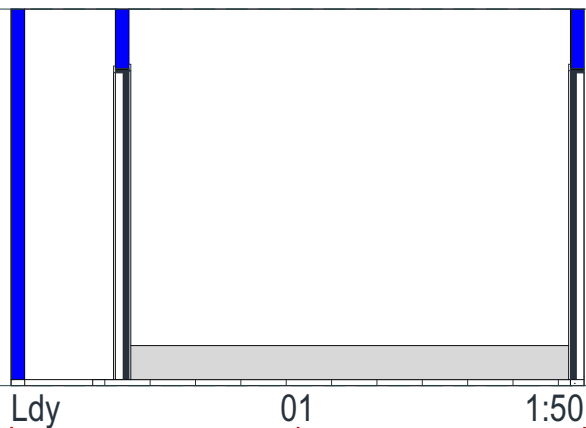
REV: A.
MASTER

TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

E N S U I T E



L A U N D R Y

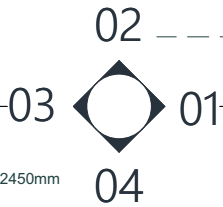
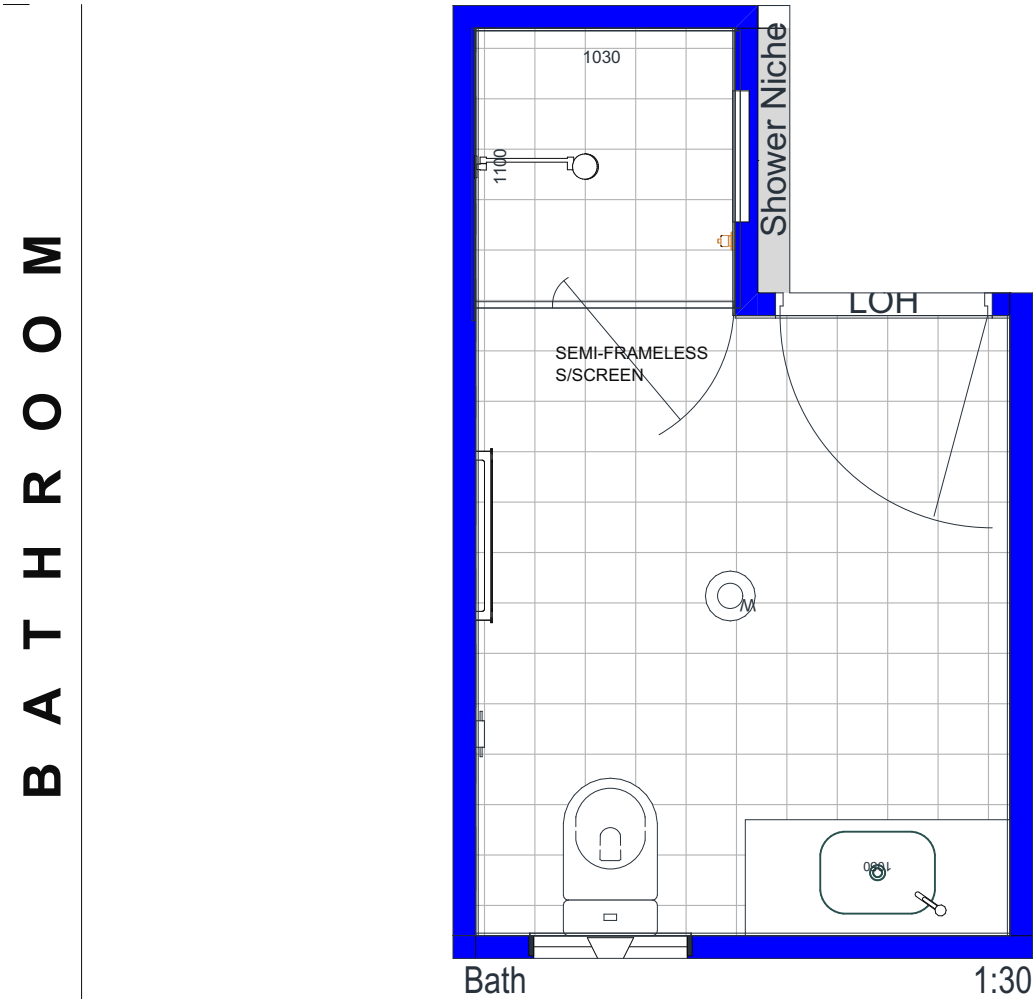


REV: A.
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	1950
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:
Refer To Job Specific Details &
Colour Application Sheets For
Tile Layout/Application.

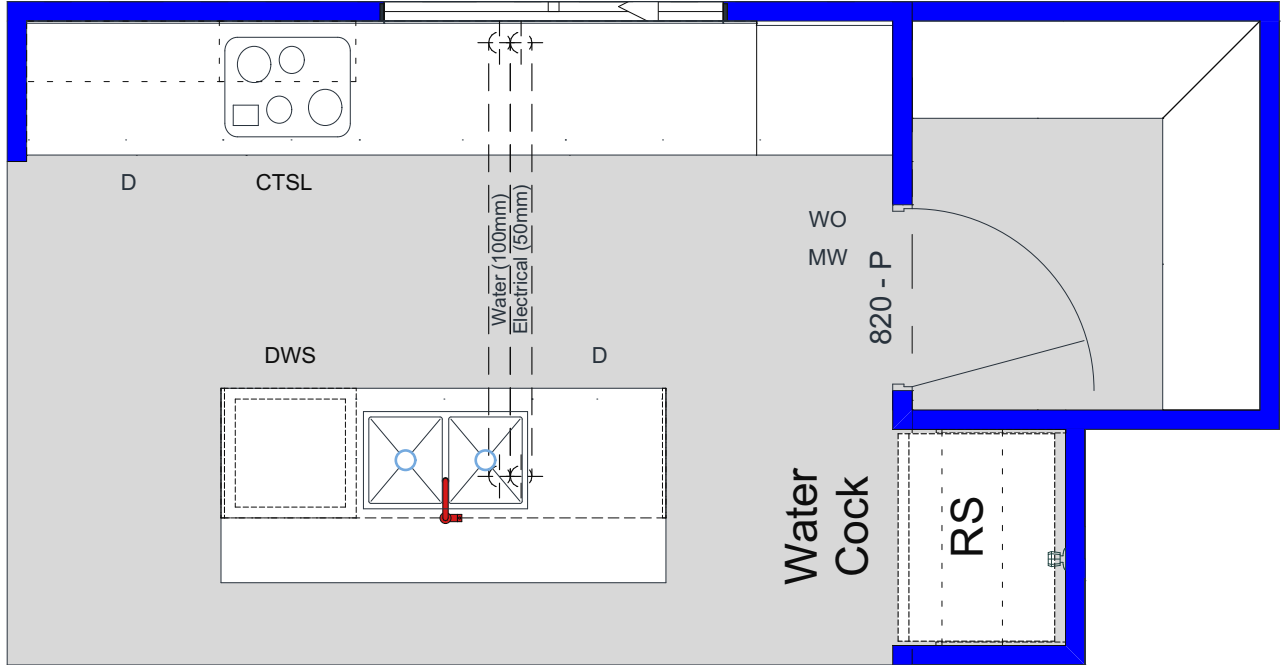
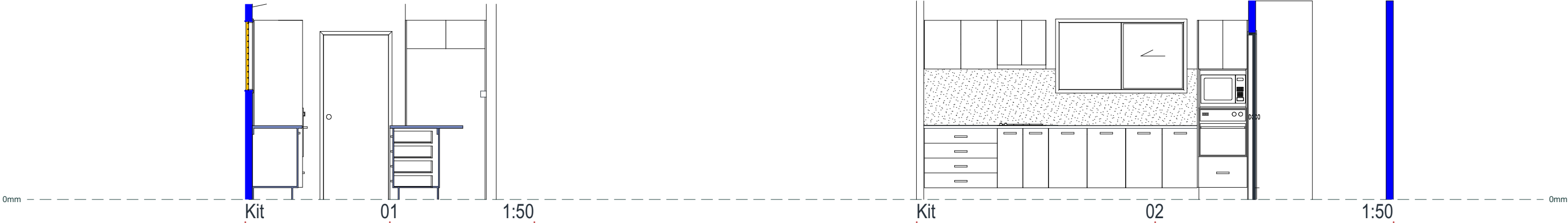
BATHROOM



REV: A.
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	1950
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

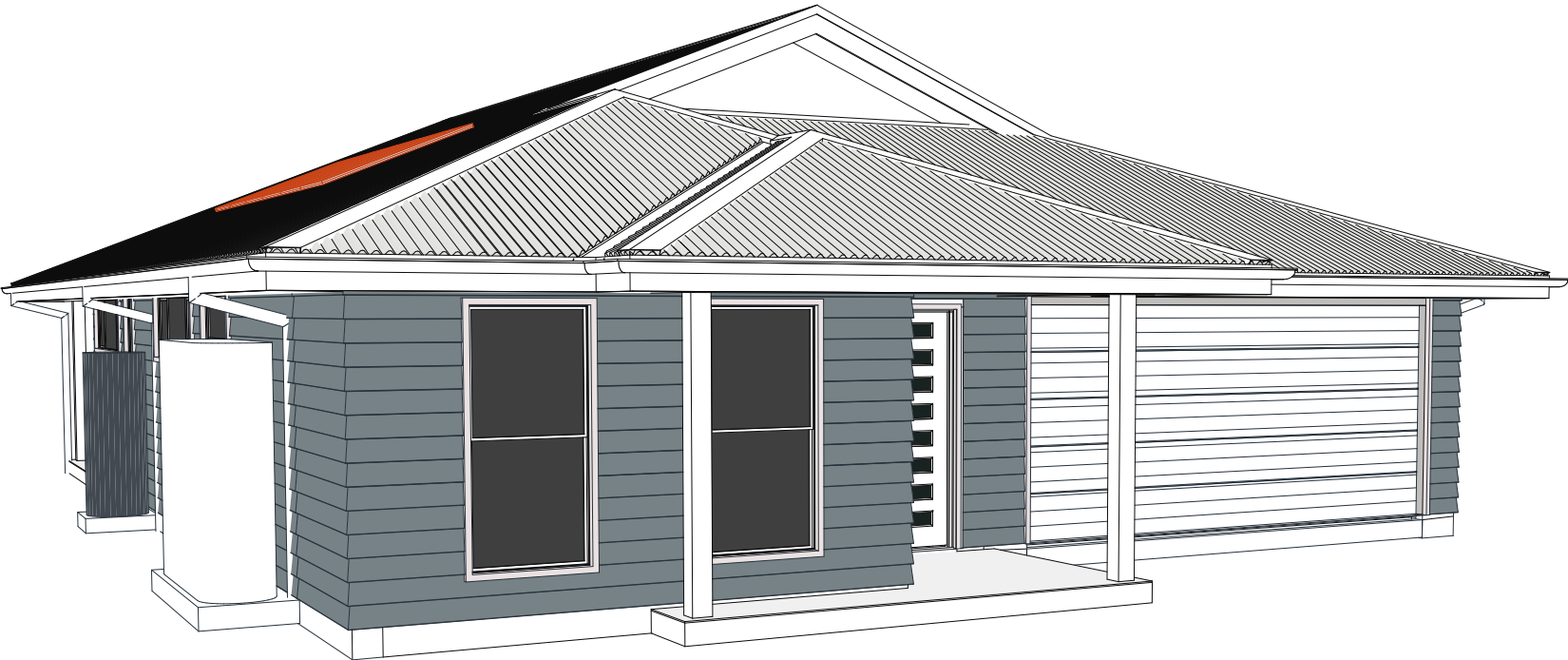
Note:
Refer To Job Specific Details & Colour Application Sheets For Tile Layout/Application.



Note:
Refer to specification level detail for
Layout/heights.

REV: A.
MASTER

02
03 01
04



Finishes Legend

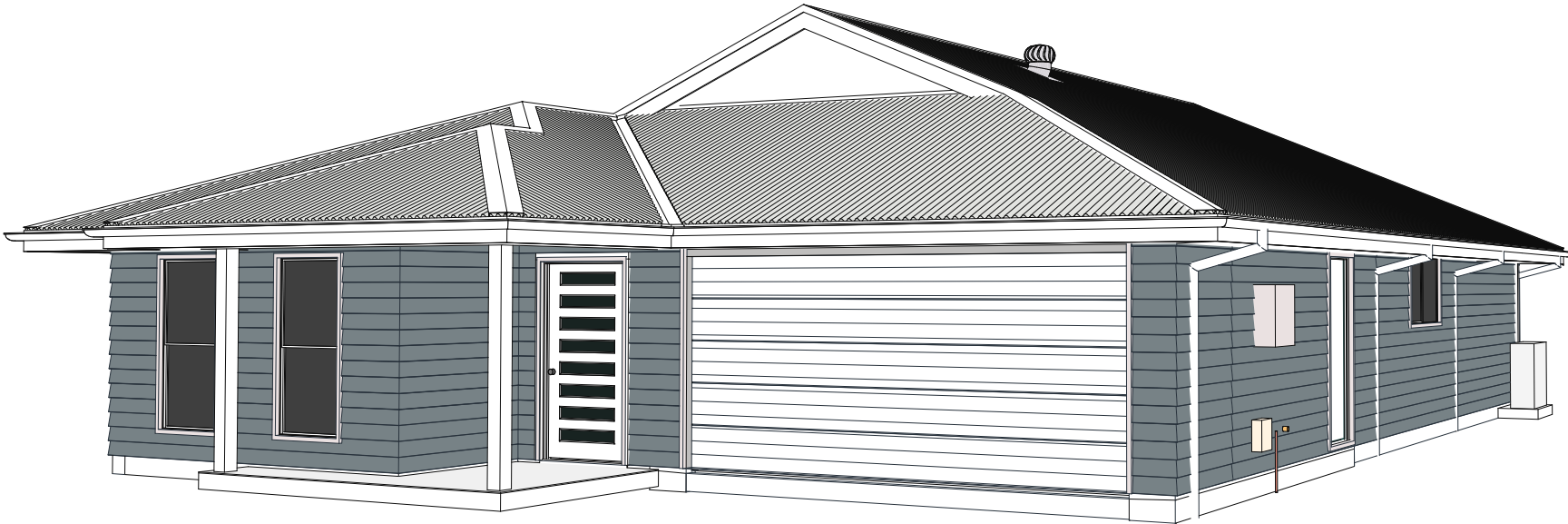
External Scheme -

Hebel:
Shale Grey

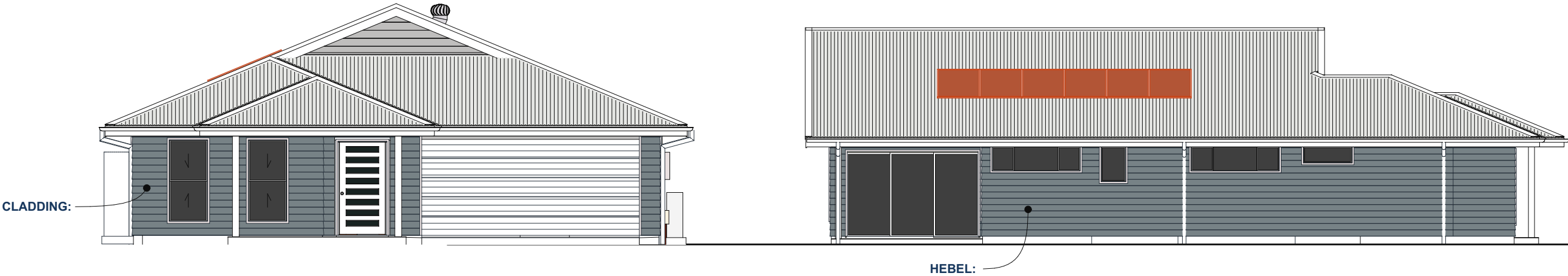
Cladding:
Shale Grey

Roof:
Surfmist

REV: A.
MASTER



WARNING
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR



Finishes Legend

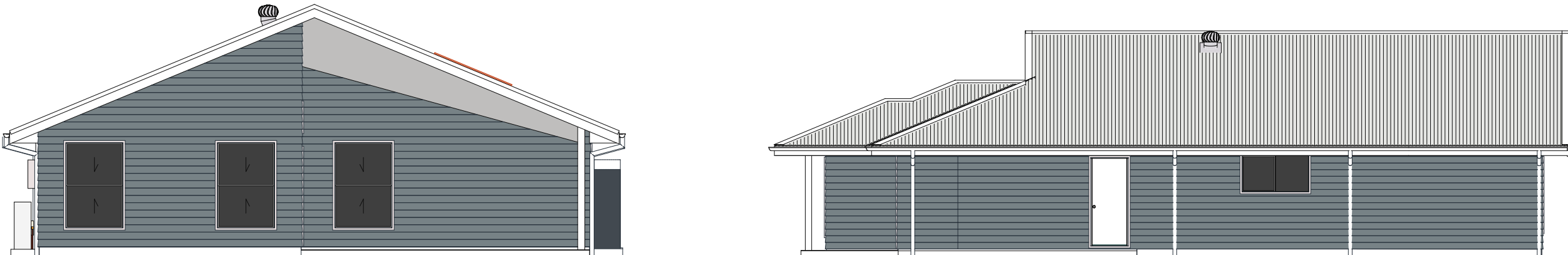
External Scheme -

Hebel:
Shale Grey

Cladding:
Shale Grey

Roof:
Surfmist

REV: A.
MASTER



WARNING
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR

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WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960



Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
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EUCALYPT PLUS-7DG
Cottage

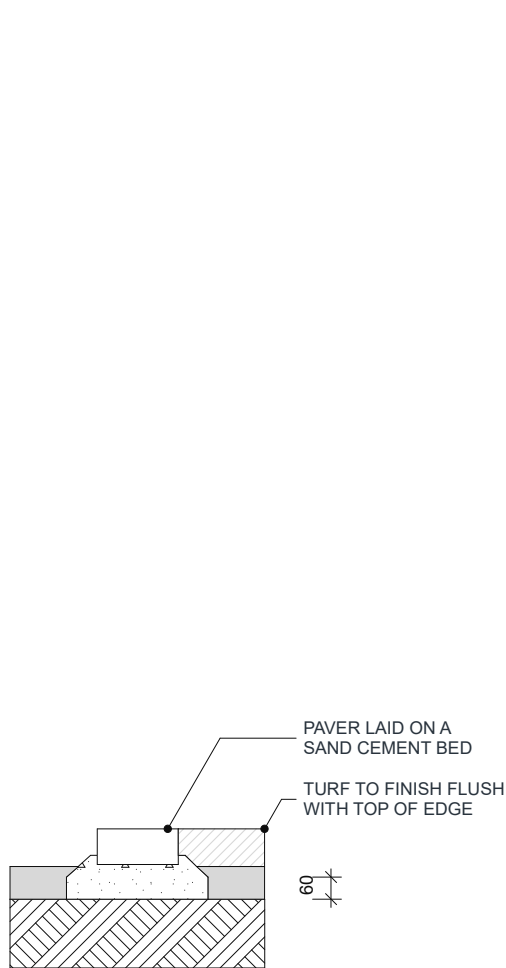
Site Address
Allam Homes Pty Ltd
Lot 00 Street Name
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		Colour Perspectives			Last Amended JHA	Scale REFER TO DETAIL
GENERAL:	0	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	A	21.12.22	A..V22	1EW710O00A	12345	01.27

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THE IMAGES CONTAINED ON THIS PAGE ARE FOR ILLUSTRATION & REPRESENTATION PURPOSES ONLY

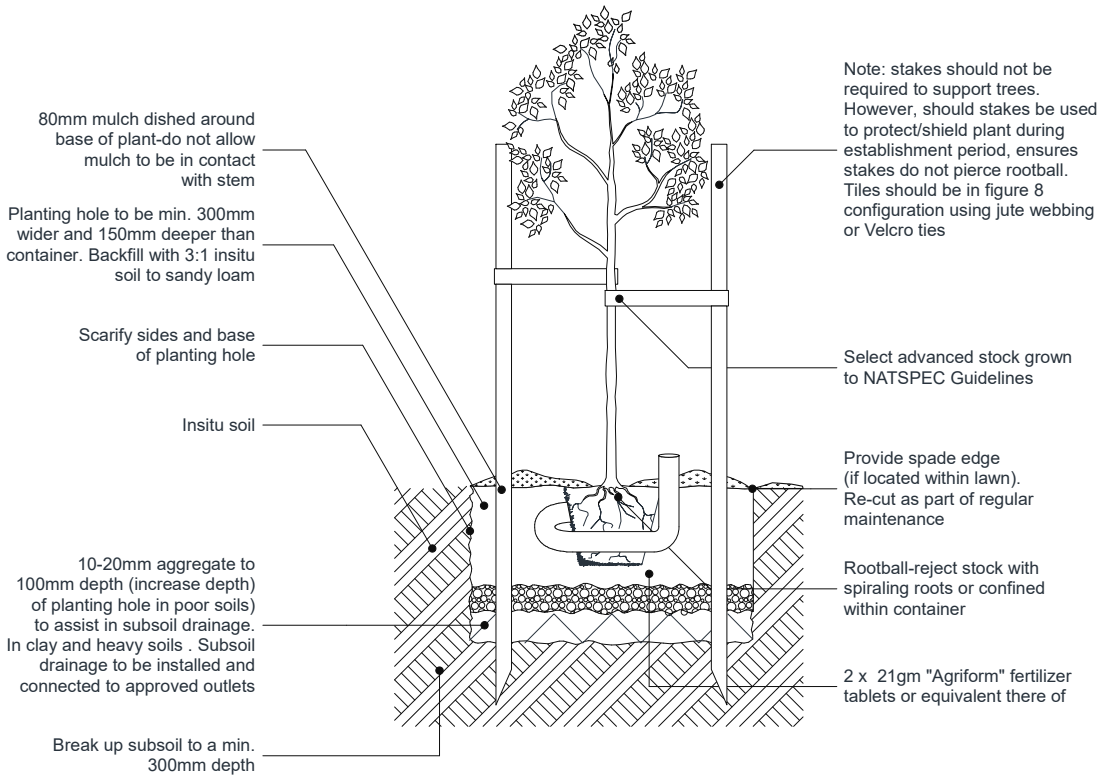




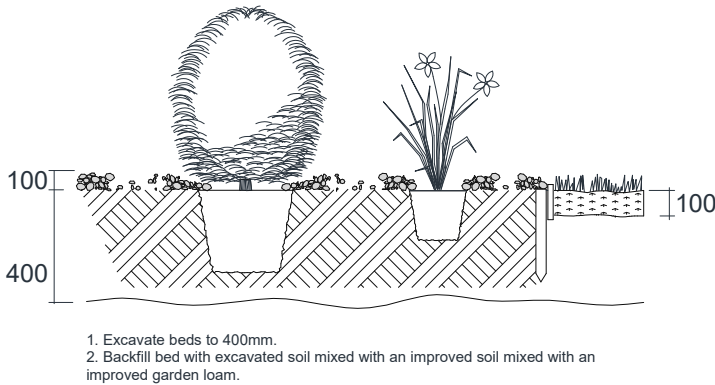
GARDEN EDGE DETAIL
NTS

LANDSCAPE SPECIFICATIONS

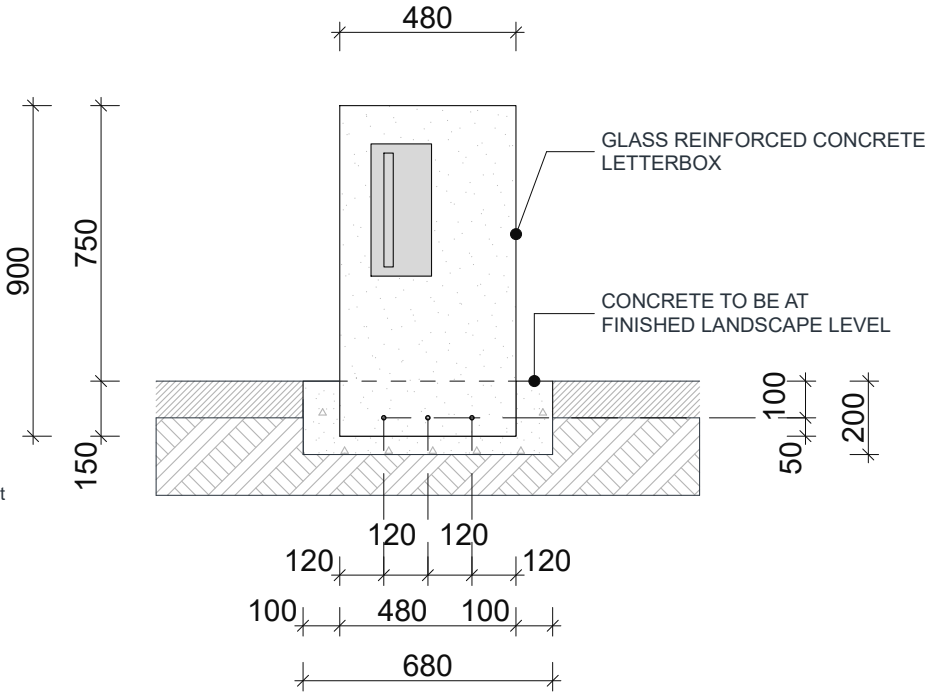
- TURF AREA:
- Turf Underlay: 100mm thick layer of screened top soil
 - Turf: Kikuyu Turf
- GARDEN AREA:
- Soil: 300mm thick layer of premium garden mix.
 - Mulch: 75mm thick layer of 10mm pine bark mulch.
 - Plants per site average:
 - 2 x 25L pot size trees
 - 20 x 300mm pot size plants
 - 20 x 200mm pot size plants
 - 15 x 140mm pot size plants.
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;.
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
 - 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.
- Tiles shall be 50mm wide hessian webbing.
- BRICK EDGE:
- 50mm thick charcoal Havenbrick on sand and cement mix.
- PEBBLE AREA:
- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.
 - Pebble : 75mm thick layer of 20mm decorative pebbles.



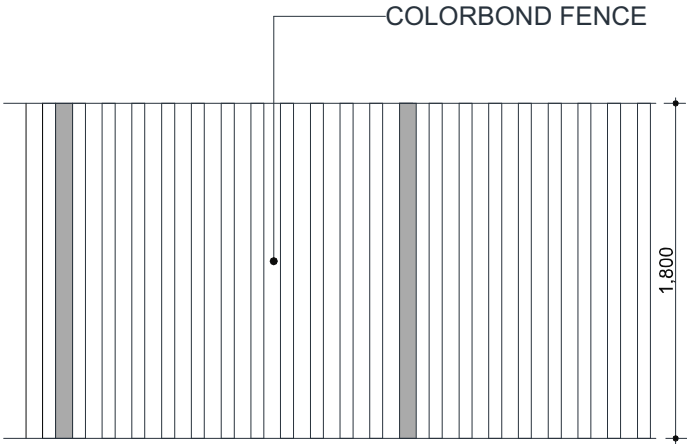
TREE PLANTING FOR ADVANCED STOCK



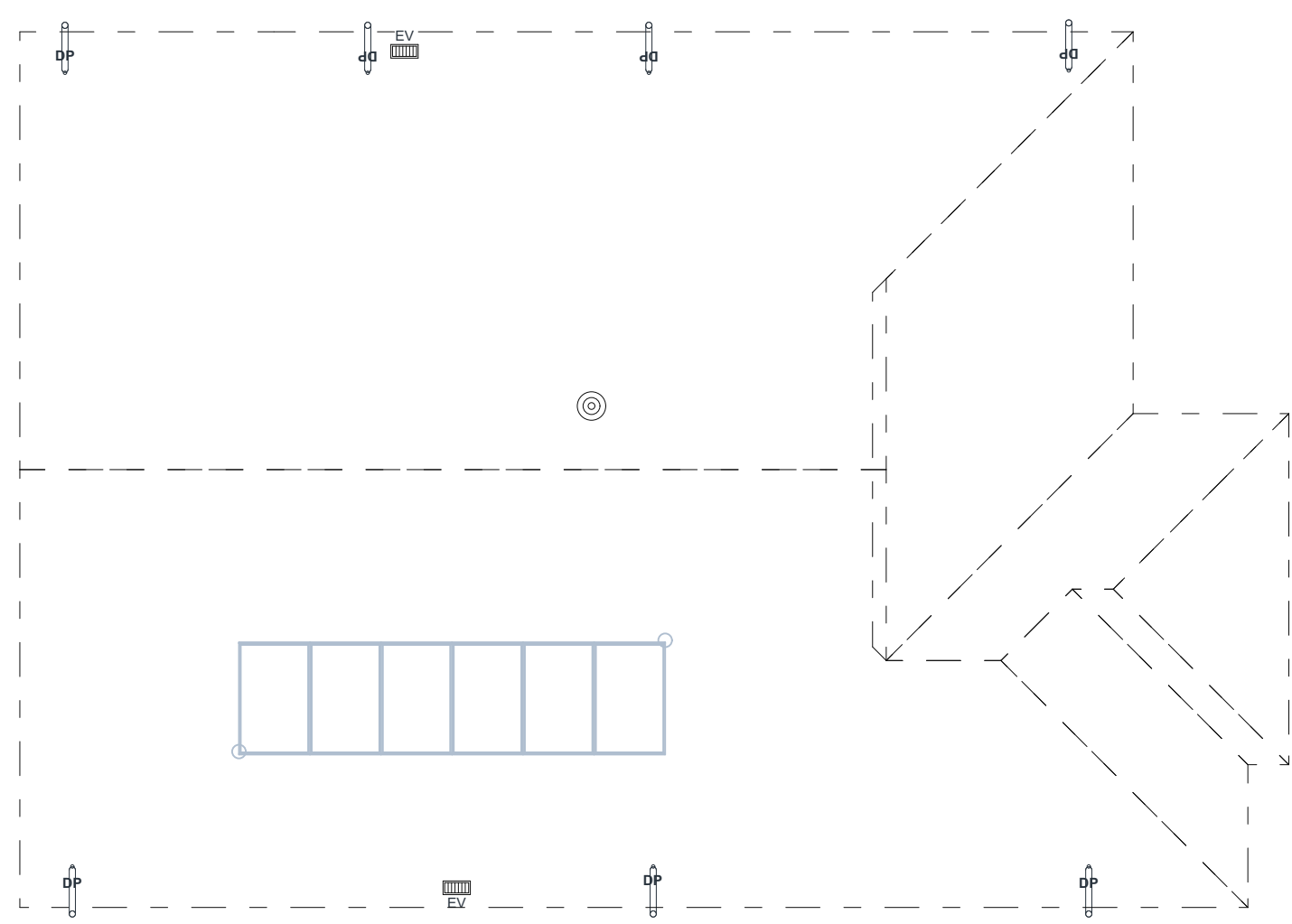
PLANTED BEDS



ELEVATION



FENCE - TYPE



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